

SITE DATA

ADDRESS: 135 & 209 Old Eastwood Road
PARCEL ID: R05009-005-030-000
CURRENT OWNER: R05009-005-039-000
TOTAL PROJECT AREA: Old Eastwood LLC
EXISTING ZONING: 1.08 Acres
EXISTING LAND CLASSIFICATION: Regional Business (RB)
EXISTING USE: URBAN
PROPOSED USE: VACANT / CONSTRUCTION CONTRACTING
NUMBER OF BUILDINGS: AUTOMOBILE REPAIR SHOP AND SALES
SPECIAL HIGHWAY: 1 EXISTING, 1 PROPOSED
OVERLAY DISTRICT: EASTWOOD ROAD*

*NOTE: 50' SHOD PARKING SETBACK MET, BUILDING SETBACK REDUCED TO 75% AND SUPPLEMENTED WITH SCREEN PLANTINGS

EXISTING IMPERVIOUS AREA	3,598 SF
BUILDING	380 SF
PAVING	10,040 SF
GRAVEL DRIVE AREA	14,018 SF
TOTAL	
EXISTING IMPERVIOUS TO REMAIN	3,598 SF
BUILDING	380 SF
PAVING	3,978 SF
TOTAL	
PROPOSED NEW IMPERVIOUS AREA	24,762 SF
PROPOSED CURB, PARKING LOT, DRIVE APRON	3,000 SF
PROPOSED BUILDING	380 SF
PROPOSED CONCRETE WALKS	380 SF
TOTAL	26,142 SF
TOTAL SITE IMPERVIOUS	32,120 SF

WATER/SEWER USAGE	CURRENT	PROPOSED
SEWER	(250 GAL./DAY)	(250 GAL./DAY)
WATER	(250 GAL./DAY)	(250 GAL./DAY)

BULK REQUIREMENTS	REQUIRED	PROVIDED*
MIN. LOT AREA	1 ACRE	1.08 ACRES
MIN. LOT WIDTH	100'	243'
MAX. LOT COVERAGE (BUILDINGS)	40%	14%
MIN. FRONT SETBACK	25'	25'
MIN. REAR SETBACK	15'	15'
MIN. INTERIOR SIDE SETBACK	0'	0'
MIN. CORNER LOT SIDE SETBACK	25'	N/A
MAX. BUILDING HEIGHT	35'	22'

*ALL PROVIDED BULK REQUIREMENTS SHOWN BASED ON EXISTING BUILDING TO REMAIN

OFF-STREET PARKING REQUIREMENTS	REQUIRED	PROVIDED
AUTO REPAIR SHOP:		
MIN: 1,800 SF GFA		
(1,508 SF/600)		
AND 1 PER 2,000 SF DISPLAY AREA	3 MIN.	3
(5,090 SF/600)	3 MIN.	4
TOTAL	6 MIN.	7

HANDICAP PARKING:	1	1
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LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
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STREET YARD*		
PRIMARY STREET YARD		
(OLD EASTWOOD ROAD)		
(217 LF X 25)	5,425 SF*	4,275 SF
TREES: 5,425 SF/600	9	
SHRUBS: (5,425/600)*6	54	

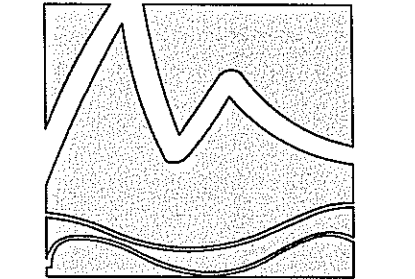
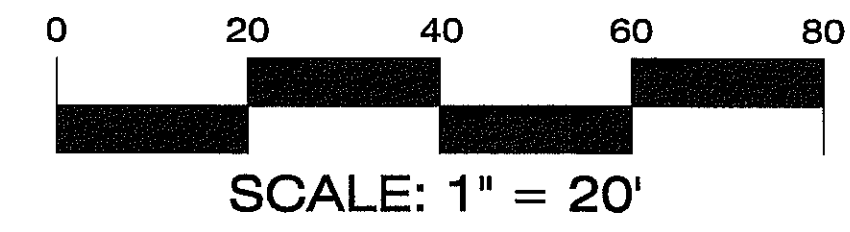
*NOTE: A REDUCTION IN STREETYARD AREA REQUIREMENT IS REQUESTED DUE TO THE EXISTING TREES OVERSIZED OLD EASTWOOD ROAD RIGHT OF WAY. THE MINIMUM TREE AND SHRUB QUANTITIES FOR STREETYARD REQUIREMENTS WILL BE MET.

FOUNDATION PLANTINGS**	REQUIRED	PROVIDED
EXISTING BUILDING		
(41 LF*15)*.12	73 SF	

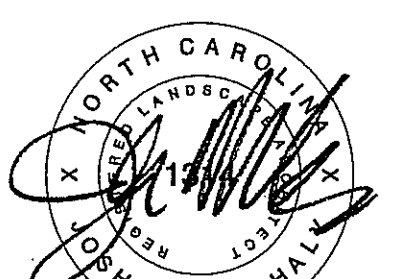
**THE LONG FACES OF THE BUILDINGS HAVE/WILL HAVE GARAGE ENTRY DRIVE ACCESS, AND THUS ARE EXEMPT FROM FOUNDATION PLANTING REQUIREMENTS

PARKING LOT SHADE REQUIREMENTS		
(14,242 SF)*.20 =	2,848 SF	4 TREES

23. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS (DETAIL SD 15-13 COWF TECH STD).
24. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
25. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEGIN OPEN CUT MAY BE REQUIRED.
26. TRASH WILL BE CONTAINED IN ROLL OUT CONTAINERS.
27. NO TREES WILL BE REMOVED AS A RESULT OF CONSTRUCTION.
28. THERE IS NO PROPOSED MONUMENT SIGN.
29. ALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY- EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
30. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER LOCATION SERVICES. SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
31. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.



MIHALY
LAND DESIGN
PLANNING + LANDSCAPE ARCHITECTURE
330 Military Cutoff Rd., Suite A3
Wilmington, NC 28403 910.392.4355



Revisions

RECEIVED	MAR 03 2016
PLANNING DIVISION	

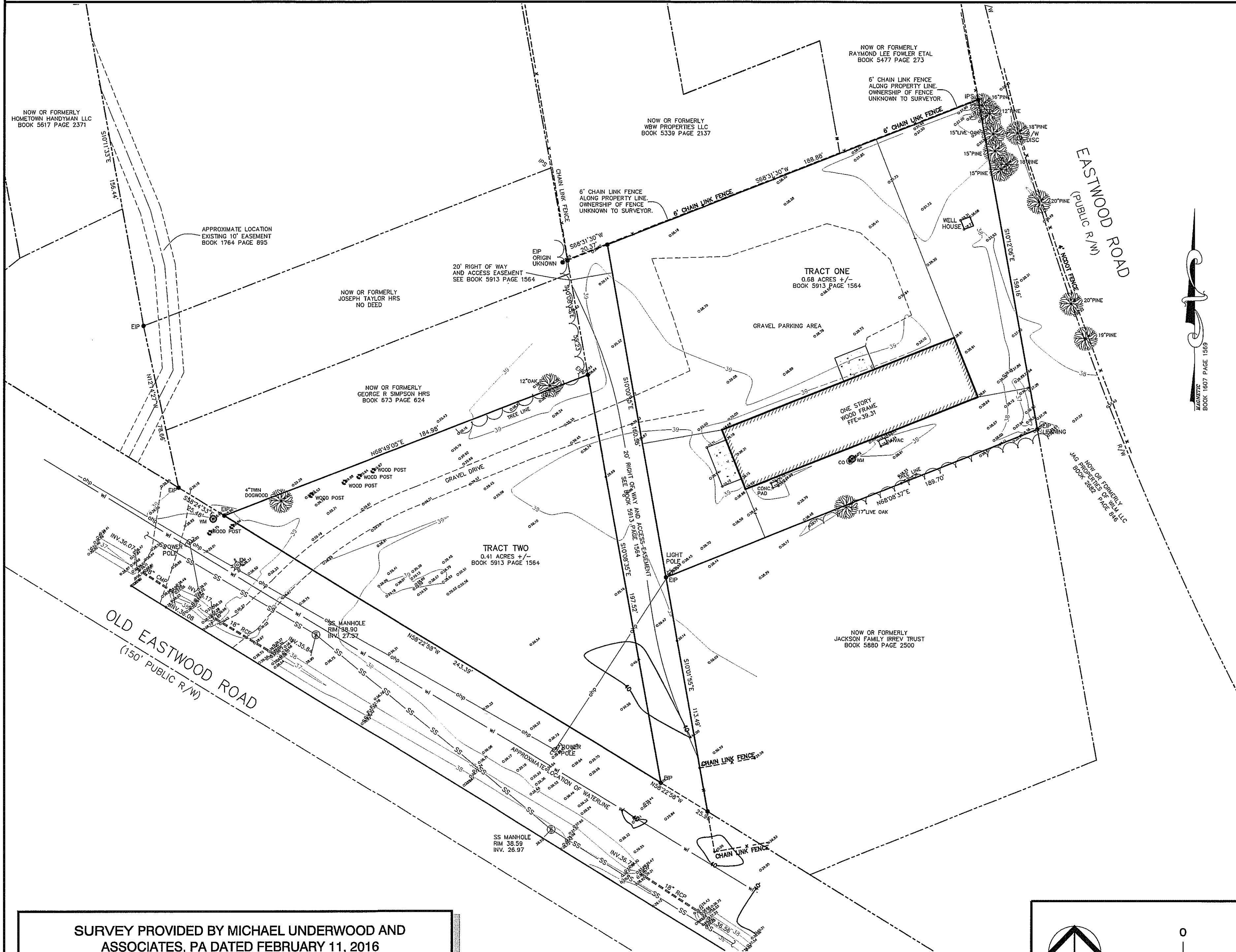
CLIENT
Old Eastwood LLC
7219 Airle Road Place
WILMINGTON, NC 28403
PHONE: (336) 847-8300

PROJECT
Sea Sell Auto
135 & 209 Old Eastwood Road
WILMINGTON, NC 28403
SITE PLAN

Date: 03/02/2016
Phase: 000
Job Number: 100-990
Designed by: MLD
Drawn by: ALM
Checked by: JWM
Sheet Title: SITE PLAN

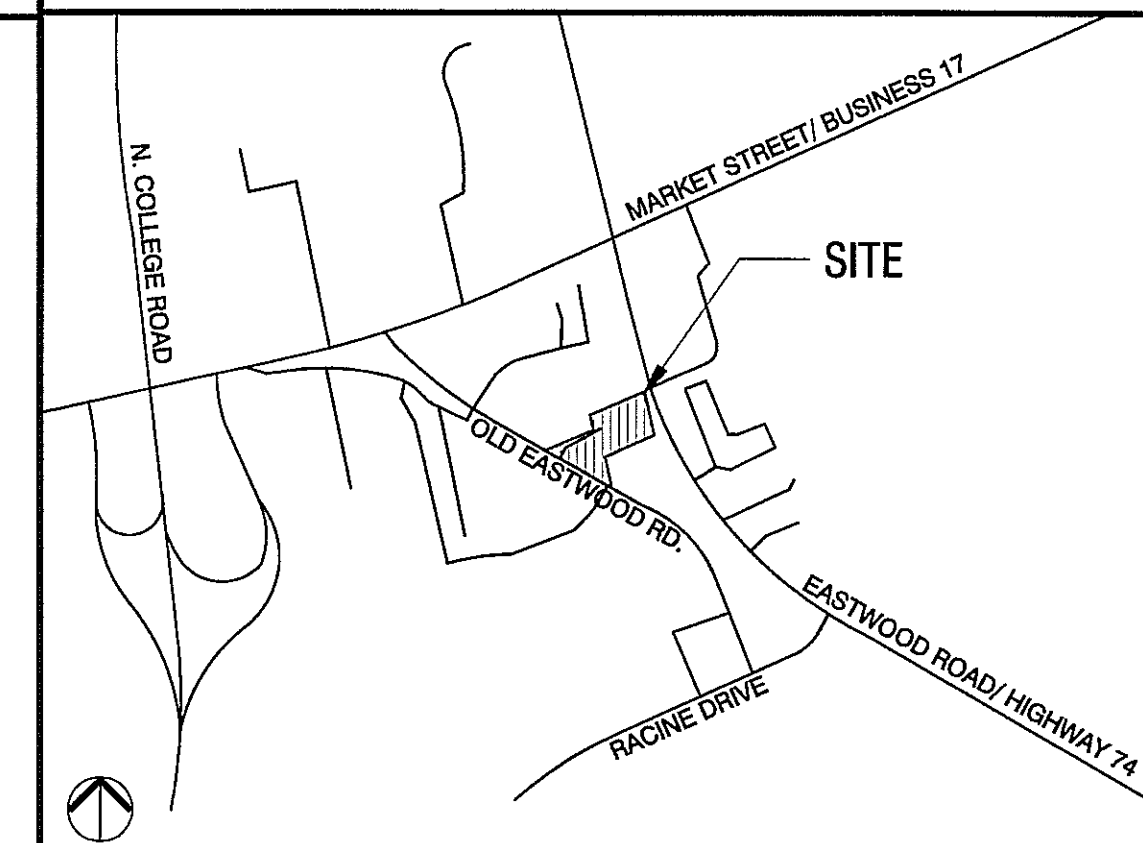
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of 2 sheets

EXISTING CONDITIONS SURVEY

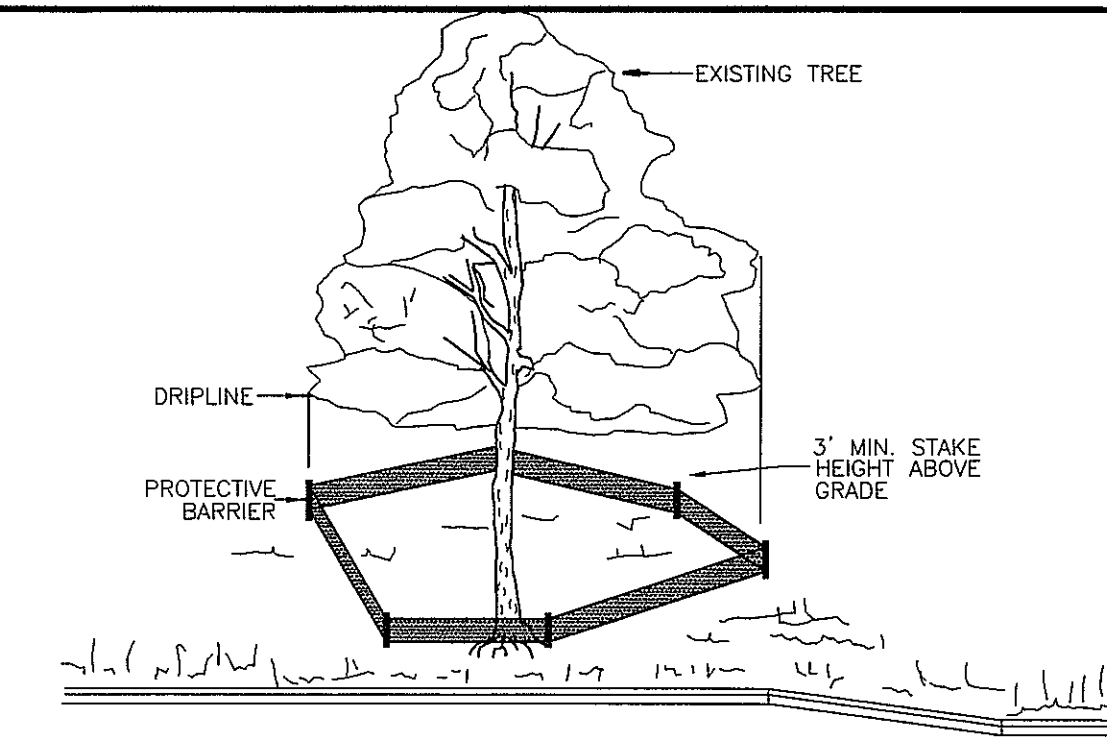


SURVEY PROVIDED BY MICHAEL UNDERWOOD AND ASSOCIATES, PA DATED FEBRUARY 11, 2016

SITE MAP NOT TO SCALE



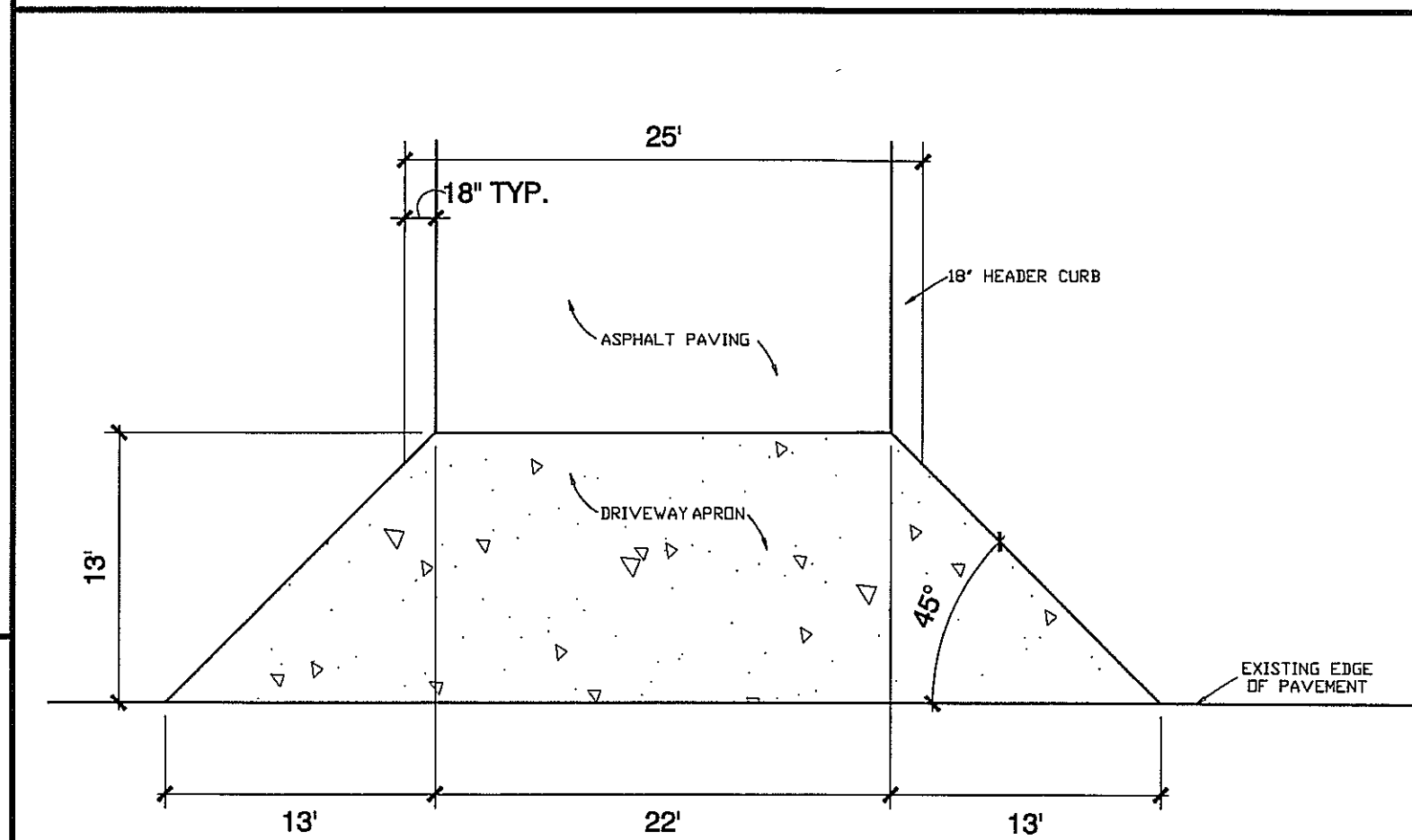
SD 15-08. TREE PROTECTION DURING CONSTRUCTION



METHOD OF TREE PROTECTION DURING CONSTRUCTION
SD 15-08
NOT TO SCALE

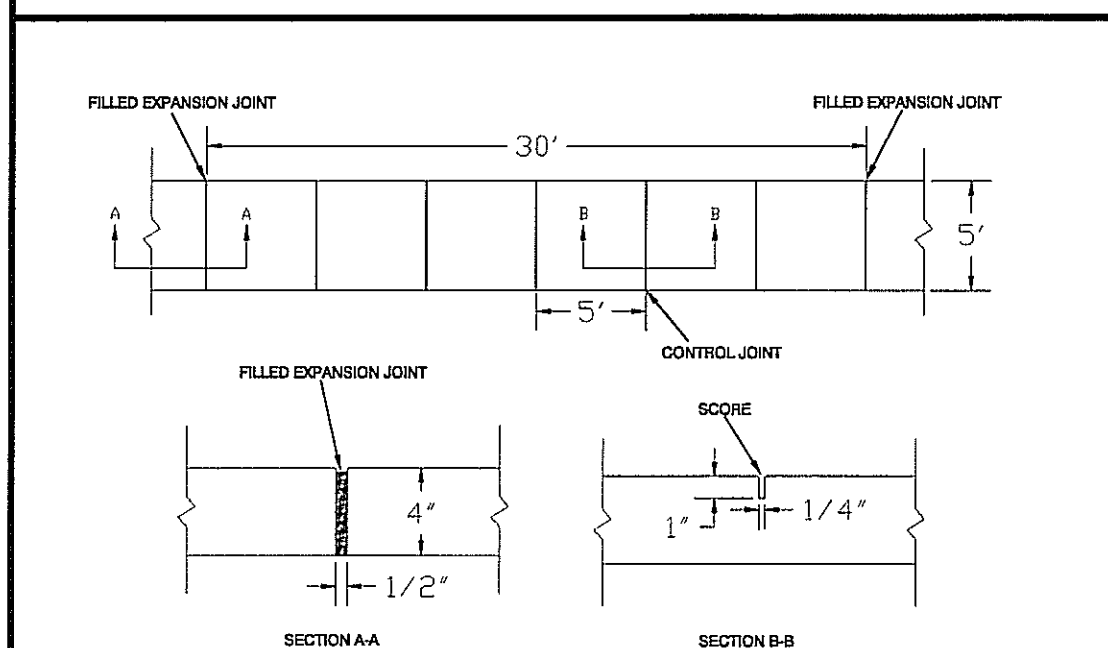
SD 8-02. STANDARD DRIVEWAY DETAIL

NOT TO SCALE



SD 3-10. STANDARD SIDEWALK DETAIL

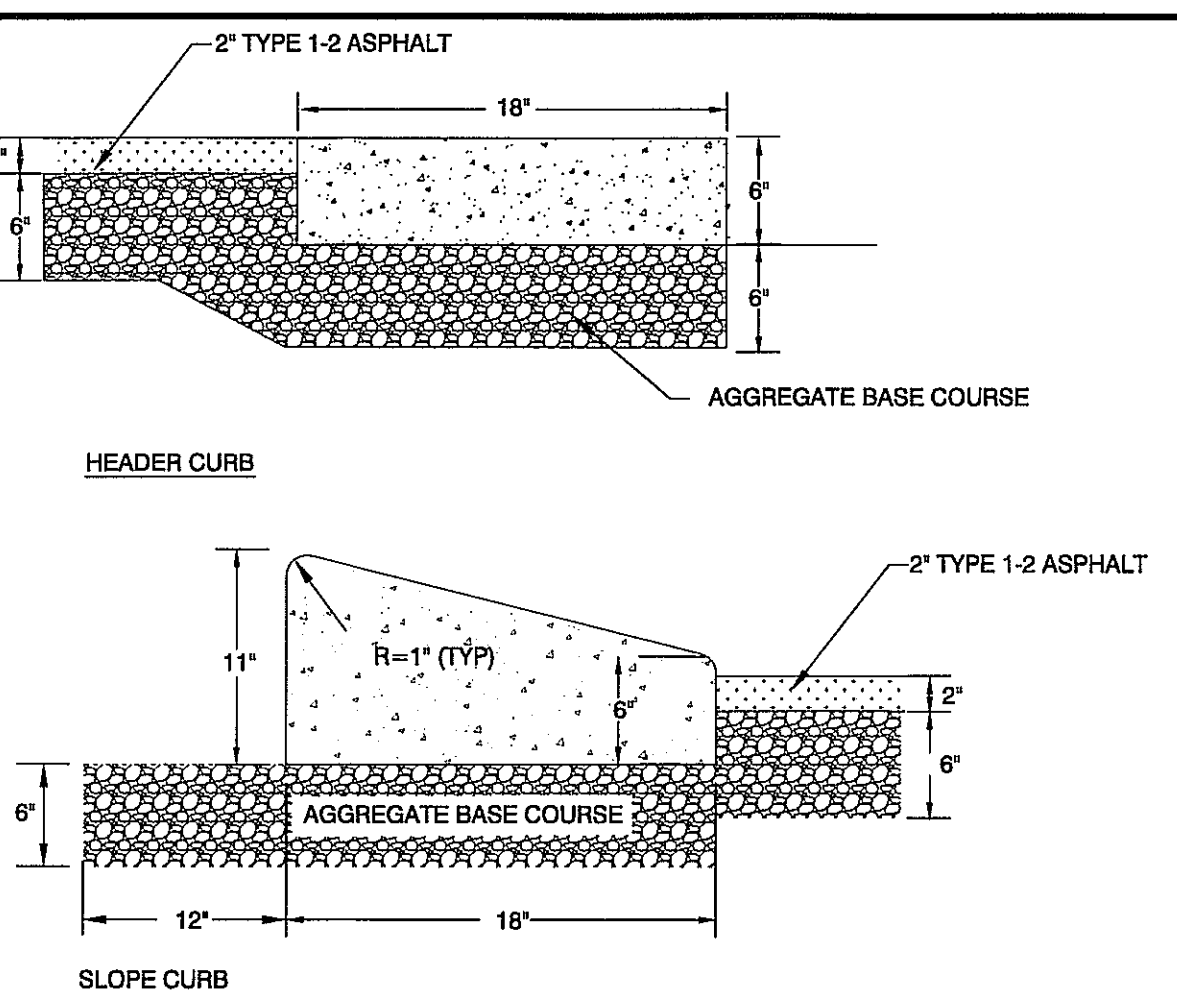
NOT TO SCALE



- NOTES:
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY)
 - MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL
 - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
 - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 - MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

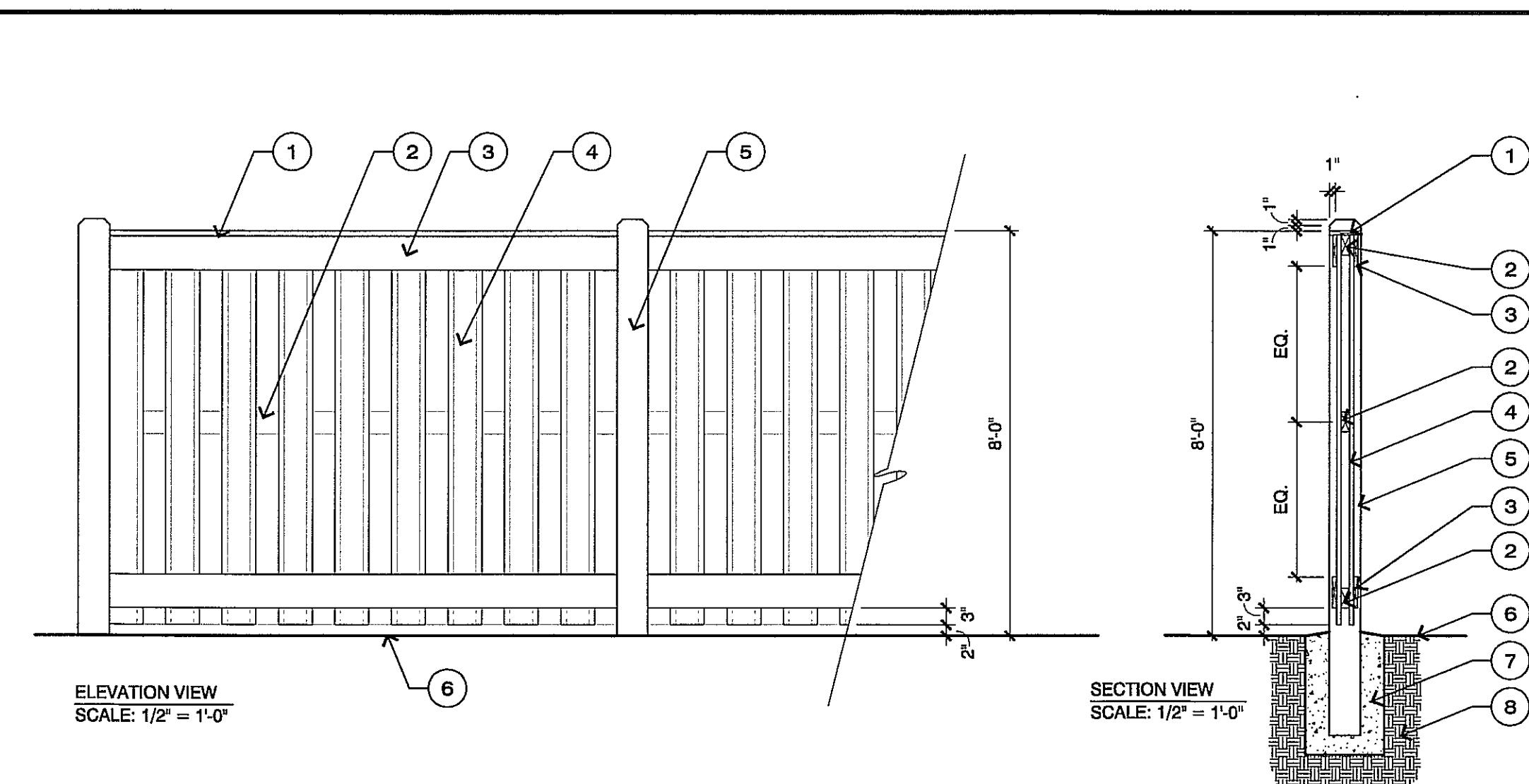
SD 3-11. CURBING

NOT TO SCALE



- NOTES:
- EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS
 - 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
 - MINIMUM INSTALLATION LENGTH IS 5 FT.
 - CONCRETE TO BE 3000 PSI MIN
 - VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE

L1. 8' BOARD ON BOARD FENCE

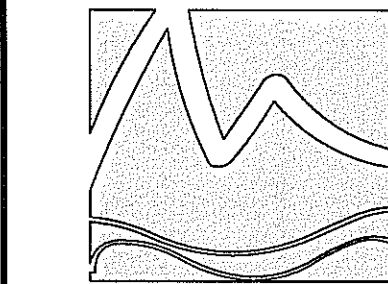


LEGEND

- 2 x 6 TOP PLATE
- 2 x 4 STRINGER
- 1 x 6 STRINGER
- 1 x 6 VERTICAL BOARDS - 1" OVERLAP
- 6 x 6 POSTS AT 8'-0" O.C.
- FINISH GRADE
- CONCRETE FOOTING
- COMPACTED SUBGRADE

NOTES:

- ALL CONNECTORS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED.
- ALL WOOD TO BE #2 OR BETTER PRESSURE TREATED SOUTHERN YELLOW PINE
- ALL WOOD TO BE STAINED



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Wilmington, NC 28403 910.392.4355



Revisions

CLIENT
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7219 Airle Road Place
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PHONE: (336) 847-8300

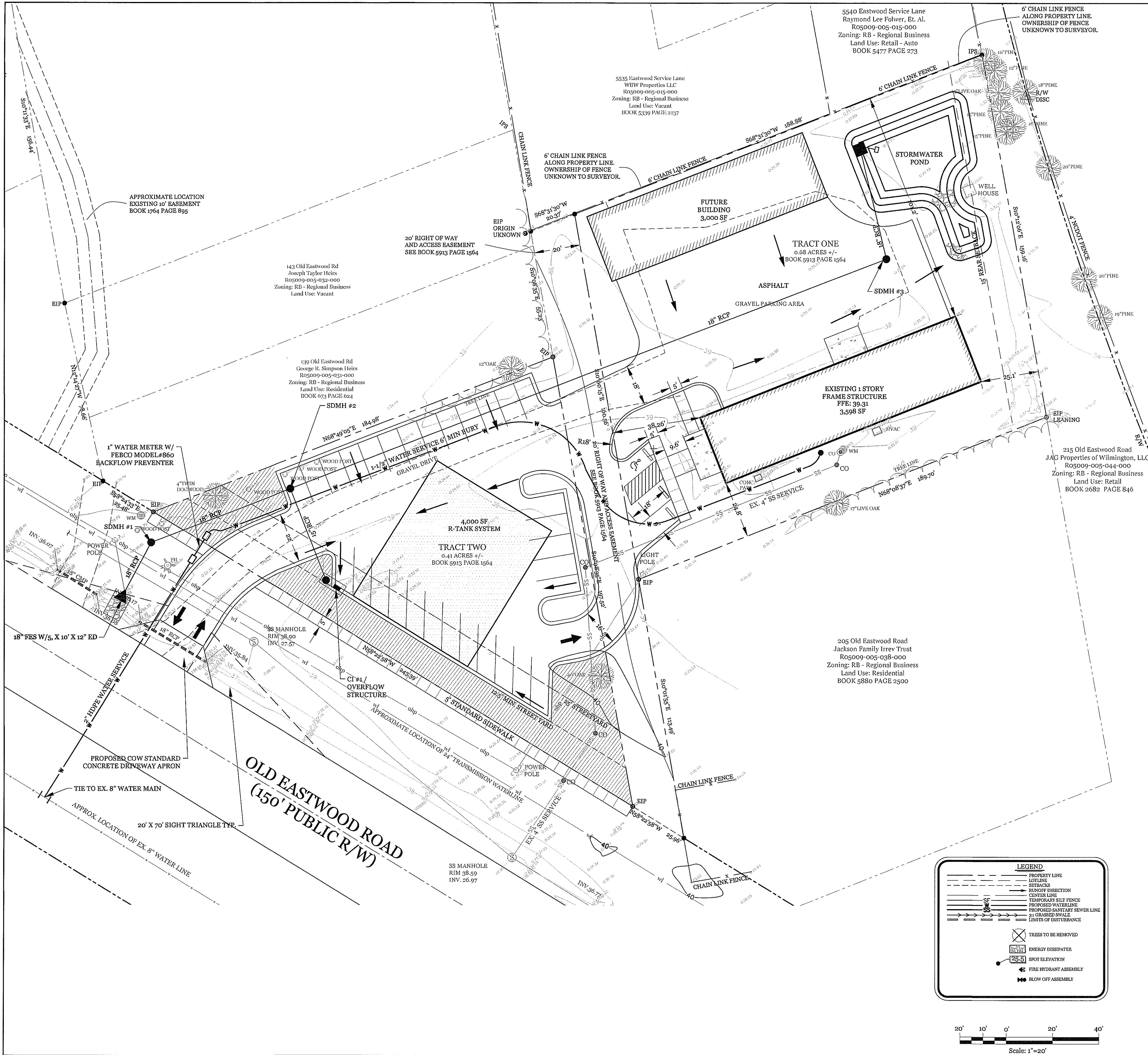
PROJECT
Sea Sell Auto
135 & 209 Old Eastwood Road
WILMINGTON, NC 28403
SITE PLAN

Date: 03/02/2016
Phase: 000
Job Number: 100-990
Designed by: MLD
Drawn by: ALM
Checked by: JWM

Sheet Title:
EXISTING CONDITIONS
SURVEY &
CONSTRUCTION
DETAILS

Sheet Number

L2.1
of 2 sheets



SITE DATA:

ADDRESS: 135 & 309 Old Eastwood Road
PARCEL ID: R05009-005-030-000
CURRENT OWNER: Land Holdings, LLC
TOTAL PROJECT AREA: 1.08 Acres
EXISTING ZONING: Regional Business (RB)
CAMA LAND CLASSIFICATION: URBAN
EXISTING USE: VACANT / Construction Contracting
PROPOSED USE: AUTOMOBILE SALES
NUMBER OF BUILDINGS: 1 EXISTING, 1 PROPOSED

EXISTING IMPERVIOUS AREA	3,598 SF
BUILDING	380 SF
PAVING	10,040 SF
GRAVEL DRIVE AREA	14,018 SF
TOTAL	
EXISTING IMPERVIOUS TO REMAIN	3,598 SF
BUILDING	380 SF
PAVING	3,978 SF
TOTAL	
PROPOSED NEW IMPERVIOUS AREA	26,047 SF
PROPOSED CURB AND PARKING LOT	3,000 SF
PROPOSED BUILDING	340 SF
PROPOSED CONCRETE WALKS	29,387 SF
TOTAL	
TOTAL SITE IMPERVIOUS	33,365 SF

WATER/SEWER USAGE

	CURRENT	PROPOSED
SEWER	(210 GAL./DAY)	(210 GAL./DAY)
WATER	(210 GAL./DAY)	(210 GAL./DAY)

BULK REQUIREMENTS

	REQUIRED	PROVIDED*
MIN. LOT AREA	1 ACRE	1.08 ACRES
MIN. LOT WIDTH	100'	X'
MAX. LOT COVERAGE (BUILDINGS)	40%	6,598 SF (14%)
MIN. FRONT SETBACK	25'	X'
MIN. REAR SETBACK	15'	X'
MIN. INTERIOR SIDE SETBACK	0'	X'
MIN. CORNER LOT SIDE SETBACK	25'	22'
MAX. BUILDING HEIGHT	35'	

*ALL PROVIDED BULK REQUIREMENTS SHOWN BASED ON EXISTING BUILDING TO REMAIN

OFF-STREET PARKING REQUIREMENTS

	REQUIRED	PROVIDED
AUTO DEALER:		
MIN: 1/500 SF GFA	13 MIN.	38
6,598 SF/500 =		
HANDICAP PARKING: 1/25 SPACES	1	1

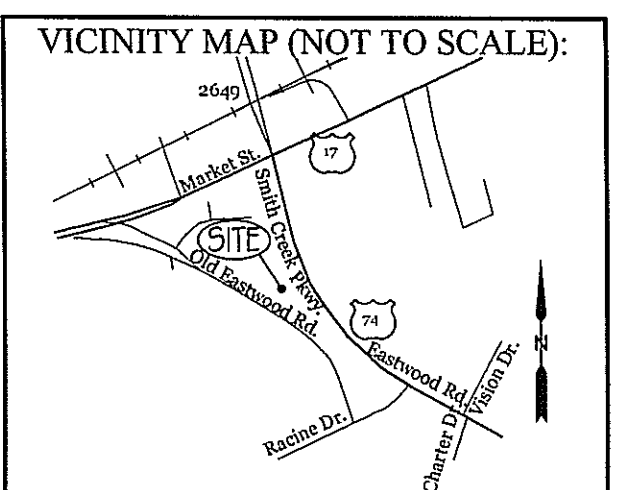
LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
STREET YARD*		
PRIMARY STREET YARD (OLD EASTWOOD ROAD)		
(238 LF X 25)	5,950 SF	X SF
TREES: 5,950 SF/600	10	X
SHRUBS: (5,950/600)*6	60	X

*NOTE: A 50% REDUCTION IN STREET YARD REQUIREMENTS IS REQUESTED DUE TO THE CONSTRAINTS ALONG OLD EASTWOOD ROAD.

	REQUIRED	PROVIDED
FOUNDATION PLANTINGS (86 LF*22")*12	227 SF	255 SF
PARKING LOT SHADE REQUIREMENTS (9,456 SF)*20 =	1,891 SF	2,121 SF = (7 TREES *
353-5 SF		

- GENERAL NOTES:**
1. SITE BOUNDARY, STRUCTURES, TREES, ADJACENT PROPERTY LINES, EXISTING STREETS AND UTILITY INFORMATION TAKEN FROM SURVEY PROVIDED BY MICHAEL UNDERWOOD AND ASSOCIATES, PA DATED JANUARY 9, 2015.
 2. ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO MEAN SEA LEVEL, NAVD 1988.
 3. ALL DISTANCES ARE GROUND HORIZONTAL.
 4. THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS OR COVENANTS OF RECORD.
 5. SEWER AND WATER SERVICES FOR THIS LOT ARE IN PLACE AND PROVIDED BY THE CARP FEAR PUBLIC UTILITY AUTHORITY.
 6. PARCEL INFORMATION FROM NEW HANOVER COUNTY ONLINE TAX RECORD SEARCH.
 7. ALL PROTECTED TREES WILL BE PRESERVED OR MITIGATED.
 8. SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
 9. SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
 10. GARBAGE TO BE STORED IN ROLL-OUT CONTAINER(S) WITHIN BUILDING.
 11. ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
 12. TWO EXISTING DRIVEWAYS ARE TO BE CLOSED.
 13. HEATING/AIR EQUIPMENT WILL BE LOCATED WITHIN THE BUILDING FOOTPRINT.
 14. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 15. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
 16. WATER AND SEWER SERVICE SHALL MEET OFPUA DETAILS AND SPECIFICATIONS.
 17. LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
 18. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING AND GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
 19. NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
 20. REGULATED AND SIGNIFICANT TREES IN THE STREET YARD AND ANY TREES IN ANY REQUIRED BUFFERS ARE REQUIRED TO BE RETAINED.
 21. NO EXISTING EASEMENTS PERTAIN TO THE SITE.
 22. ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
 23. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10' (SEC. 18-566).
 24. ALL FEDERAL, STATE AND LOCAL PERMITS AREA REQUIRED PRIOR TO FULL CONSTRUCTION RELEASE. THIS INCLUDES, BUT IS NOT LIMITED TO: STATE STORM WATER, STATE UTILITY EXTENSION PERMITS, WETLAND DISTURBANCE PERMITS, CITY STORM WATER, TREE PROTECTION PERMITS, ETC.
 25. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH A CLEAR VISUAL SIGHT LINES FROM 30'-10' (SEC. 18-566).
 26. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS (DETAIL SD-13 COFW TECH STDS).
 27. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS (DETAIL SD 15-13 COFW TECH STDS).
 28. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 29. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 30. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 31. NO ADDITIONAL EXISTING OR PROPOSED EASEMENTS OR PUBLIC RIGHTS-OF-WAY ARE IDENTIFIED.
 32. TRASH WILL BE CONTAINED IN ROLL OUT CONTAINERS
 33. NO TREES WILL BE REMOVED AS A RESULT OF CONSTRUCTION
 34. THERE IS NO PROPOSED MONUMENT SIGN.



REVISIONS

INTRACOASTAL ENGINEERING, PLLC

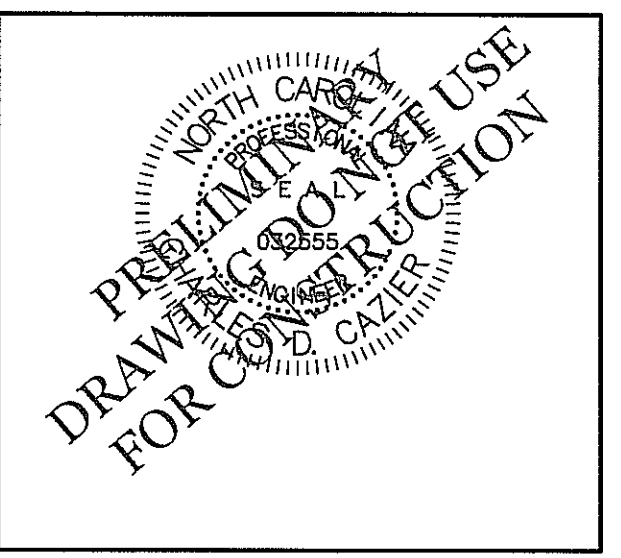
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662

PRELIMINARY SITE PLAN

FOR

SEA SELL AUTO

WILMINGTON, NC



CLIENT INFORMATION:

OLD EASTWOOD LLC
6611 MARKET STREET
WILMINGTON, NC 28405
PH. (336) 847-8300

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	3/09/2016
APPROVED:	CDC	SCALE:	1" = 20'
PROJECT NUMBER:	2016-006		

DRAWING NUMBER: **C-1**

1 OF 1